



**COMMUNITY DEVELOPMENT DEPARTMENT**

*Joan Davenport, AICP, Director*

*Code Administration Division*

*129 North Second Street, 2nd Floor Yakima, Washington 98901*

*Phone (509) 575-6126 • Fax (509) 576-6576 E-mail:*

*codes@yakimawa.gov*

**COMMERCIAL  
NEW  
-OR-  
ALTERATION  
APPLICATION  
PACKET**

## ***PERMIT PROCESS GUIDELINES***

- Yakima Municipal Code, Title 15 is available online at:  
<https://www.codepublishing.com/WA/Yakima/#!/Yakima15/Yakima15.html>  
For questions relating to **Land Use and/or Zoning requirements**, please contact Planning at: (509) 575-6183 or [ask.planning@yakimawa.gov](mailto:ask.planning@yakimawa.gov). Land Use Application forms are available at:  
<http://www.yakimawa.gov/services/planning/>
- **Building Permit Applications**: Application packets and submittal requirements are available on our website:  
<http://www.yakimawa.gov/services/codes/permits/>  
**NOTE:** Projects that involve the clearing/grading of 1+ acres require a Large Project Stormwater Permit and an Erosion Control Inspection prior to the issuance of permits.
- **Plumbing Permit Applications**: For commercial uses, please indicate if water closets will be tank or flush valve type. Also, if you plan on using existing plumbing fixtures, please provide a list that distinguishes between existing and new fixtures.  
**NOTE:** A City of Yakima Side Sewer Installer license is required pursuant to Chapter 11.44 of the Yakima Municipal Code for individuals or corporations who engage in the business of installing or contracting to install, repair, or alter side sewers.
- **Mechanical Permit Applications**: Submit application along with two sets of gas schematic drawings (if applicable) that indicates size of gas piping, distance of piping from the meter to the new appliance(s) and the BTU's of the new appliance(s). If you are adding gas piping, all existing piping sizes and distances needs to be shown.
- **Fire Permit Applications**: Submit application with two sets of fire alarm, suppression systems, sprinkler and/or fire line plans.
- **Sign Permit Applications**: Submit application with two sets of plans.  
**NOTE:** In addition to a City of Yakima General Business License, a Sign Company License is required pursuant to Chapter 11.08 of the Yakima Municipal Code for sign companies who erect, remove, service or maintains signs within the City of Yakima.
- **Excavation/Street Break Applications**: This permit is required for projects occurring within the public right-of-way. Please contact the Engineering Division at (509) 575-6111 to confirm application, insurance, bond and/or permit fees, or visit their website: <http://www.yakimawa.gov/services/engineering/>
- **Civil Plans** (i.e. sanitary sewer, storm drainage, water, irrigation, roadway improvements, etc.) are a separate submittal from the building construction plans. Please contact the Engineering Division at (509) 575-6111 for application and plan submittal requirements or visit their website:  
<http://www.yakimawa.gov/services/engineering/files/Procedures Manual 5-8-13.pdf>  
<http://www.yakimawa.gov/services/engineering/files/2012/06/private-projects-application.pdf>

- Applicable **City of Yakima - Water and/or Wastewater Connection** fees are a separate permit and will be determined during the building plan review process. If connecting to the City Water system, those connection fees must be paid before or at the time the building permit is issued. If this project involves a change of use of an existing building, please contact Amanda Firth, Permit Technician at [amanda.firth@yakimawa.gov](mailto:amanda.firth@yakimawa.gov) or (509) 576-6665 for possible additional wastewater connection fees. If your project will be served by Nob Hill Water Association, please contact Kirsten McPherson, GIS/Engineering Tech - 6111 Tieton Dr., (509) 966-0272.
- Occupancies that discharge strong waste to the City of Yakima Wastewater Treatment Plant will require the installation of a **Sampling Port** (manhole) on the side-sewer in accordance with Chapter 7.65 of the Yakima Municipal Code. Questions regarding sampling port requirements may be directed to the Wastewater Pretreatment Supervisor, (509) 575-6077. The application form and submittal requirements are available at: <http://www.yakimawa.gov/services/codes/files/052015-Sample-Application-Packet.pdf>
- **Stormwater Permit:** Projects that involve construction of more than 5,000 square feet of new or hard surfaces require a completed stormwater permit application and 3 copies of civil plans and drainage calculations (prepared by a licensed Professional Engineer). There is no fee for this review/permit.
- **Large Project -- Stormwater Permit:** Projects that clear or grade 1 acre or more must complete and submit a "Large Project Stormwater Permit" application. Please refer to our webpage for application requirements: <https://www.yakimawa.gov/services/codes/permits/>  
**NOTE:** A building permit will not be issued without first passing an Erosion Control inspection. A **Stormwater Maintenance Agreement** must be completed and submitted to Randy Meloy, Surface Water Engineer. After necessary City staff signatures are obtained, the Agreement must be picked up, recorded at the Yakima County Auditor's office and proof that it has been recorded provided to Randy Meloy (509) 576-6606, *prior to final inspection/issuance of the Certificate of Occupancy*. There is no fee for this review/permit.
- A **General Business License** is required for contractors/subcontractors working within the City of Yakima. Business licenses are applied for through the Department of Revenue: [www.dor.wa.gov](http://www.dor.wa.gov)
- Please contact State of Washington, Labor & Industries for **Electrical** Permits/inspections, 15 W Yakima Ave. Suite 100, (509) 454-3700.

**This list may not be a complete list of applications relevant to your project and is provided for informational purposes only.**

*Specific permitting process questions can be directed to: Lisa Maxey, Permit Project Coordinator, [Lisa.Maxey@yakimawa.gov](mailto:Lisa.Maxey@yakimawa.gov) or (509) 576-6669.*

*Specific code requirement questions can be directed to: Glenn Denman, Code Administration Manager, [glenn.denman@yakimawa.gov](mailto:glenn.denman@yakimawa.gov) or (509) 575-6268. Code Administration Permit Applications can be found at: <http://www.yakimawa.gov/services/codes/permits/>*

**We look forward to working with you!**



Community Development Department  
**Code Administration Division**  
 129 N 2nd Street, 2nd Floor, Yakima, WA 98901  
 Phone: (509) 575-6126 \* Fax: (509) 576-6576  
 codes@yakimawa.gov \* www.buildingyakima.com

# Building Permit Application

**Building Permit #** \_\_\_\_\_

Site Address: \_\_\_\_\_ Parcel #: \_\_\_\_\_

Primary Contact Name: \_\_\_\_\_ Phone#: \_\_\_\_\_ Email: \_\_\_\_\_

Construction Type(s): \_\_\_\_\_ IBC/IRC Occupancy Classification \_\_\_\_\_ Estimated Cost of Construction: \_\_\_\_\_

Change of Occupancy?  Yes  No Is this an Accessory Dwelling Unit per YMC 15.09.045?  Yes  No

Will 1 acre or more be cleared or graded?  Yes  No Will temporary construction trailers be utilized?  Yes  No

Is property within the flood area?  Yes  No

## Description of Work

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## Building Information

- Single-Family New  Single-Family Alteration  Single-Family Addition  
 Multifamily New  Multifamily Alteration  Multifamily Addition  
 Commercial New  Commercial Addition  New Commercial Tenant  Renovation for Existing Commercial Tenant

### Square Footages of NEW Construction

1<sup>st</sup> Floor \_\_\_\_\_ 2<sup>nd</sup> Floor \_\_\_\_\_ 3<sup>rd</sup> Floor \_\_\_\_\_ Basement \_\_\_\_\_ Unfinished Attic Space \_\_\_\_\_

Garage \_\_\_\_\_ Carport \_\_\_\_\_ Covered Patio \_\_\_\_\_ Covered Porch \_\_\_\_\_

# of stories \_\_\_\_\_ # of bathrooms \_\_\_\_\_ # of bedrooms \_\_\_\_\_ # of units (residential) \_\_\_\_\_ # of tenants (commercial) \_\_\_\_\_

Fire Sprinkler?:  Yes  No City Water?:  Existing  New City Sewer?:  Existing  New

Fire Alarm?:  Yes  No Well?:  Existing  New Septic System?:  Existing  New

## Contact Information

Applicant Name: \_\_\_\_\_ Applicant Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_ Alt. Phone: \_\_\_\_\_

Contractor Name: \_\_\_\_\_ Contractor Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_ Contractor License #: \_\_\_\_\_

Architect Name: \_\_\_\_\_ Architect Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_ Architect License #: \_\_\_\_\_

Property Owner Name: \_\_\_\_\_ Owner Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_ Alt. Phone: \_\_\_\_\_

Lending Info Provided?  N/A  Not Provided  To be provided at a later date

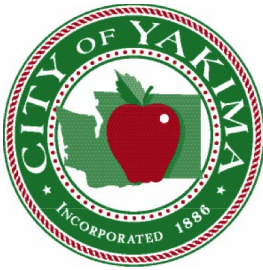
Lending Institution: \_\_\_\_\_ Phone #: \_\_\_\_\_ Address: \_\_\_\_\_

I hereby certify under penalty of perjury of the Laws of the State of Washington that I have read and examined this **application and** know that the information contained herein is true and correct. I certify that I am the owner of the subject property, or, **that I** have been given express permission by the owner of the subject property to submit this application for permit. I understand that the granting of a permit does not authorize me in any way to violate or cancel any of the provisions of state, federal or **local laws** regulating the construction or performance of construction sought under this permit.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date



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**PLUMBING PERMIT APPLICATION** Permit# \_\_\_\_\_

**Job Address:** \_\_\_\_\_ **Parcel Number:** \_\_\_\_\_

**Project Description:** \_\_\_\_\_

**Property Owner**

**Contractor**

**Name:** \_\_\_\_\_

**Business Name:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**City/State/Zip:** \_\_\_\_\_

**City/State/Zip:** \_\_\_\_\_

**E-mail:** \_\_\_\_\_

**E-mail:** \_\_\_\_\_

**Phone:** \_\_\_\_\_

**State Cont. Lic. #:** \_\_\_\_\_ **exp.** \_\_\_\_\_

**Alt. Phone:** \_\_\_\_\_

**Phone:** \_\_\_\_\_

ITEM	FEE	QTY.	AMOUNT
Base Fee	\$31.82	1	\$31.82
Atmospheric Breaker	\$8.04		
Backflow Device (RPBA or DCVA) <2"	\$11.23		
Backflow Device (RPBA or DCVA) >2"	\$24.95		
Bar Sink	\$11.23		
Bathtub	\$11.23		
Clothes Washer	\$11.23		
Dishwasher	\$11.23		
Drinking Fountain	\$11.23		
Floor Drain	\$11.23		
Hose Bib	\$11.23		
Kitchen Sink	\$11.23		
Kitchen Sink 3 Compartment	\$11.23		
Laundry Tray	\$11.23		
Lavatory (Basin)	\$11.23		
Miscellaneous	\$11.23		

ITEM	FEE	QTY.	AMOUNT
Mop Sink	\$11.23		
Pretreatment Interceptor	\$19.07		
Repair/Alt. Drain/Vent Piping	\$11.23		
Roof Drain	\$11.23		
Sewage Pump	\$11.23		
Sewer Repair	\$21.53		
Shower	\$11.23		
Side Sewer	\$21.53		
Sink	\$11.23		
Supplemental Permits	\$16.01		
Urinal	\$11.23		
Water Closet – Tank Type	\$11.23		
Water Closet – Flushometer Type	\$11.23		
Water Heater	\$11.23		
Water Piping/Service	\$11.23		
Sampling Port	\$11.23		

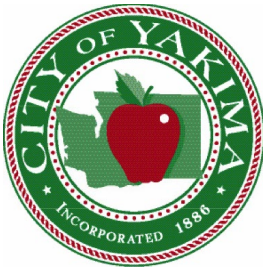
**TOTAL** \_\_\_\_\_

I hereby certify under penalty of perjury of the Laws of the State of Washington that I have read and examined this application and know that the information contained herein is true and correct. I certify that I am the owner of the subject property, or, that I have been given express permission by the owner of the subject property to submit this application for permit. I understand that the granting of a permit does not authorize me in any way to violate or cancel any of the provisions of state or local law regulating the construction or performance of construction sought under this permit.

\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Print Name**

\_\_\_\_\_  
**Date**



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**MECHANICAL PERMIT APPLICATION**

**Permit#** \_\_\_\_\_

**Job Address:** \_\_\_\_\_

**Parcel Number:** \_\_\_\_\_

**Project Description:** \_\_\_\_\_

**Property Owner**

**Name:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**City/State/Zip:** \_\_\_\_\_

**E-mail:** \_\_\_\_\_

**Phone:** \_\_\_\_\_

**Alt. Phone:** \_\_\_\_\_

**Contractor**

**Business Name:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**City/State/Zip:** \_\_\_\_\_

**E-mail:** \_\_\_\_\_

**State Cont. Lic. #:** \_\_\_\_\_ **exp.** \_\_\_\_\_

**Phone:** \_\_\_\_\_

ITEM	FEE	QTY.	AMOUNT
<b>Base Fee</b>	\$23.86	<b>1</b>	<b>\$23.86</b>
A/C Unit	\$10.36		
AH <10,000 CFM	\$13.54		
AH >10,000 CFM	\$18.41		
Commercial Incinerator	\$104.37		
Domestic Incinerator	\$25.85		
Dryer Vent	\$10.36		
Electric, Baseboard, or Suspended Heaters	\$17.51		
Evaporative Cooler	\$13.54		
Furn/Htr <100,000 BTU	\$17.51		
Furn/Htr >100,000 BTU	\$20.69		
Gas Boiler <100,000 BTU	\$17.58		
Gas Boiler >100,001 <500,000 BTU	\$29.38		
Gas Boiler >500,001 <1,000,000 BTU	\$39.00		
Gas Boiler >1,000,001 <1,750,000 BTU	\$53.18		
Gas Boiler >1,750,001 BTU	\$89.02		
Gas Fireplace/Log/Heat Stove	\$17.51		
Gas Grill	\$10.36		
Gas Piping 1-4 outlets	\$8.04		

ITEM	FEE	QTY.	AMOUNT
Gas Piping 5+ each addn'l	\$3.20		
Gas Range	\$10.36		
Haz Piping 1-4 outlets	\$3.20		
Haz Piping 5+ outlets, each	\$1.70		
Heat Pump	\$10.36		
Kitchen Exhaust Fan	\$10.36		
LP Tank/Residential <125 gal	\$10.36		
Miscellaneous	\$10.36		
Non Haz Piping 1-4 outlets	\$3.20		
Non Haz Piping 5+ outlets, each	\$0.82		
Pellet Stove	\$37.06		
Repair/Alt./Addn. to a listed appliance	\$19.45		
Residential Tank Aband.	\$23.86		
Supplemental Permit Fee	\$7.29		
Type I/II Commercial Hood	\$17.51		
Vent Fan (laundry, bath)	\$10.36		
Vent Systems	\$10.36		
Wood Stove	\$37.06		
<b>TOTAL</b>			

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\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Print Name**

\_\_\_\_\_  
**Date**



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**FIRE PERMIT APPLICATION**

**Permit#** \_\_\_\_\_

Address: _____ Parcel Number(s): _____	
<input type="checkbox"/> Residential <input type="checkbox"/> Commercial    # of Units: _____    # of Stories: _____	
Construction Type: _____ Valuation: _____	
1 <sup>st</sup> Floor (square feet): _____    2 <sup>nd</sup> Floor: _____    3 <sup>rd</sup> Floor: _____    4 <sup>th</sup> Floor: _____	
<b>Check all that apply:</b> <input type="checkbox"/> Sprinklered <input type="checkbox"/> A/C <input type="checkbox"/> Alarm System ( <input type="checkbox"/> Required <input type="checkbox"/> Not Required)	
<input type="checkbox"/> New <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	
<b>Project Description:</b> 	
<b>CONTACT PERSON</b> Name: _____ Address: _____ City/State/Zip: _____ Phone # (Day): _____ Email: _____	<b>PROPERTY OWNER</b> Same as Contact Person { <input type="checkbox"/> } Name: _____ Address: _____ City/State/Zip: _____ Phone # (Day): _____ Email: _____
<b>CONTRACTOR</b> Same as Applicant { <input type="checkbox"/> } Name: _____ Address: _____ City/State/Zip: _____ Phone # (Day): _____ Email: _____ State Contr. Lic #: _____    Exp: _____	<b>ARCHITECT</b> { <input type="checkbox"/> } <b>ENGINEER</b> { <input type="checkbox"/> } Name: _____ Address: _____ City/State/Zip: _____ Phone # (Day): _____ Email: _____

I hereby certify under penalty of perjury of the Laws of the State of Washington that I have read and examined this application and know that the information contained herein is true and correct. I certify that I am the owner of the subject property, or, that I have been given express permission by the owner of the subject property to submit this application for permit. I understand that the granting of a permit does not authorize me in any way to violate or cancel any of the provisions of state or local law regulating the construction or performance of construction sought under this permit.

\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Print Name**

\_\_\_\_\_  
**Date**



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**Office of Code Administration**

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## **Fire Plan Review and Permit Fees**

### **Alarm and Sprinkler Systems Per System:**

#### **0-4999 sq. ft. per floor**

1 hr plan review @ \$47; 1 hr inspection fee @ \$47 = Total \$94

#### **5000-7499 sq ft per floor**

2 hr plan review @ \$47; 2 hr inspection fee @ \$47 = Total \$188

#### **7500> sq. ft. per floor**

3 hr plan review @ \$47; 3 hr inspection fee @ \$47 = Total \$282

### **Temporary Membrane Structures and Tents (2012 IFC 3103)**

A permit is required "to operate an air-supported temporary membrane structure or a tent having an area in excess of 400 sq. ft. Plan Review Fee: \$47 and an Inspection Fee of \$47 (**PER TENT**).

#### **Exceptions:**

1. Tents used exclusively for recreational camping purposes.
2. Tents open on all sides, which comply with all of the following:
  - a. Individual tents having a maximum size of 700 sq. ft.
  - b. The aggregate area of multiple tents placed side by side without a fire break clearance of not less than 12-feet shall not exceed 700 sq. ft. total
  - c. A minimum clearance of 12 feet to structures and other tents shall be provided.

### **Underground Tank Removal Inspection Fee:**

Plan Review Fee: \$47 and an Inspection Fee of \$47, (**PER TANK**), submitted with a completed Fire Permit Application.

### **Fire Line Permit:**

Fireline permits are required for buildings that will have a fire sprinkler system. Required for submittal: 1) A completed Fire Permit Application Form and two (2) copies of the civil plans to include: 1) Fireline layout and details and 2) Site plan (including overall site plan details). The permit fee is: \$94.00

***NOTE: All of the above-referenced fees are paid at time of plan submittal.***

Table 10.05.015A of the Yakima Municipal Code reads,

1. Plan review for compliance with Title 10.05 YMC and for changes, additions or revisions to approved plans (minimum charge – one hr.) \$47 per hr.
2. Normal inspection (minimum charge – one hr.) \$47 per hr.
3. Re-inspection (minimum charge – one hr.) \$47 per hr.
4. Inspections for which no other fee is specifically indicated (minimum charge – 1 hr.) \$47 per hr.

In the event additional fees are imposed, as outlined in items 1-4, said fees will be required to be paid prior to receiving any other inspections for the project.





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**SIGN PERMIT APPLICATION**

**Permit# \_\_\_\_\_**

**(\$79.44 per sign plus \$25.00 WA State surcharge, per permit)**

<p><b>Address:</b> _____</p> <p><b>Zoning District:</b> _____</p> <p><b>Parcel #:</b> _____</p> <p><u>Please provide physical description for sign(s):</u>  <i>Example: 3-ft in height by 6-ft in width for Safeway</i></p> <p>Sign 1) _____ in height by _____ in width for _____</p> <p>Sign 2) _____ in height by _____ in width for _____</p> <p>Sign 3) _____ in height by _____ in width for _____</p> <p>Sign 4) _____ in height by _____ in width for _____</p>	<p><b>Complete this section for a <u>Free-Standing Sign</u>:</b></p> <p><input type="checkbox"/> Sign is 15 feet or MORE from the right-of-way, or  <input type="checkbox"/> Sign is 15 feet or LESS from the right-of-way</p> <p>Sign Area in square-feet _____</p> <p>Sign Height (above grade) _____</p> <p>Length of Street Frontage _____</p> <p># of proposed <u>and</u> existing Free-standing signs on property _____</p> <hr/> <p><b>Complete this section for a <u>Wall Sign</u>:</b></p> <p>Projection from building in inches: _____ in.</p> <p>Does the wall sign extend above the height or area of the wall? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
<p><b>PROPERTY OWNER</b></p> <p><b>Name:</b> _____</p> <p><b>Address:</b> _____</p> <p><b>City/State/Zip:</b> _____</p> <p><b>Phone #(Day):</b> _____</p> <p><b>Email:</b> _____</p>	<p><b>APPLICANT/CONTRACTOR</b></p> <p><b>Name:</b> _____</p> <p><b>Address:</b> _____</p> <p><b>City/State/Zip:</b> _____</p> <p><b>Phone # (Day):</b> _____</p> <p><b>Email:</b> _____</p> <p><b>State Contr. License #</b> _____ <b>Exp.</b> _____</p>
<p><b>Please provide the following:</b></p> <p><input type="checkbox"/> Site plan of the free-standing sign area (drawn to scale), and including (Not Required for Wall Signs):</p> <ol style="list-style-type: none"> <li>1. North arrow</li> <li>2. Site address and parcel number</li> <li>3. Property lines</li> <li>4. Location of any site improvements in the vicinity of the sign (landscaping, parking, driveway, easements, etc.)</li> <li>5. Clear view triangle area (for lots at un-signalized intersections, <u>and</u> driveways)</li> </ol> <p>An aerial photo may accompany the scaled site plan to show the general sign location on the property. The scaled site plan portion can be a zoomed in area of the sign location and adjacent improvements.</p> <p><input type="checkbox"/> Footing detail (for free-standing sign)</p> <p><input type="checkbox"/> Attachment detail (for wall sign)</p> <p><input type="checkbox"/> A fully dimensioned elevation drawing of the sign.</p>	

I hereby acknowledge I have read this permit application and state the above information is correct, and agree to comply with all City ordinances and State laws regulating activities covered by this permit application.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date

**Design Criteria**

Current Codes:

- 2018 International Building Code (IBC)
- 2018 International Fire Code (IFC)
- 2018 International Residential Code (IRC)
- 2018 International Existing Building Code (IEBC)
- 2018 International Mechanical Code (IMC)
- 2018 International Fuel Gas Code (IFGC)
- 2018 Uniform Plumbing Code (UPC)
- 2018 Washington State Energy Code (WSEC)
- Accessible & Usable Buildings & Facilities ICC A117.1-2009

Wind Speed=

Residential=110 mph (or, 85 mph for ASD)

Commercial=Reference ASCE 7-10 and IBC Chapter 16, usually 110 mph for category II

Earthquake Zone =

Residential (IRC Structures) = C

Commercial = D

Exception: If your plan is for a building or buildings in risk categories I, II, or III (2018 IBC Table 1604.5) *and* is of light frame construction per IBC chapter 23, the design may be according to Earthquake Zone C.

Frost Depth = 24” below grade

Ground Snow Load = 19 psf

Roof Snow Load = 30 psf

Weathering = Severe

Termite Damage = Slight to Moderate

Winter Design Temperature = 11 deg.

Ice Barrier Underlayment Required = Yes

Flood Hazards = Current Flood Insurance Rate Map (FIRM) 6/16/16

Air Freezing Index = 1011

Mean Annual Temperature = 49.7 deg.

***\*Electrical permits are applied for/issued by Washington State Labor & Industries, 15 W Yakima Ave. 509-454-3760.***

All general site plans shall be drawn to scale and be legibly drawn, prepared, or printed on eight and one-half inches by eleven inches, unless otherwise requested. The scale of the drawing shall be a standard engineering scale and shall reasonably utilize the paper's size.

**General Site Plan Checklist for Type (1) Review – YMC § 15.11.040 (B):**

- ( ) Parcel Number(s)
- ( ) Property Address
- ( ) Legal Description
- ( ) North Arrow
- ( ) Scale
- ( ) Applicant Name
- ( ) Project Name
- ( ) Property Dimensions and Shape of Lot
- ( ) Size and Location of Existing Structures
- ( ) Size and Location of Proposed Structures
- ( ) Distance(s) of Structures to Property Line and Centerline of Right-of-Way (YMC § Ch. 15.05, Table 5-1)
- ( ) Location of Existing and Proposed Signage (YMC § Ch. 15.08)
- ( ) Size and Location of Utilities
- ( ) Parking Circulation Plan (YMC § Ch. 15.06.030)
- ( ) Proposed Landscaping (YMC § Ch. 15.06.090)
- ( ) Proposed SITESCREENING (YMC § Ch. 15.07)
- ( ) Location of Ingress and Egress Points
- ( ) Adjacent Rights-of-Way and Existing Frontage Improvements
- ( ) Lot Coverage Calculation (YMC § Ch. 15.05.020(C))
- ( ) Clearview Triangle – YMC § Ch. 15.05.040 – Vision Clearance
- ( ) Dumpster and Screening Location
- ( ) Per Section 15.05.020.K.2 of the Urban Area Zoning Ordinance, the area around a swimming pool shall be enclosed by a protective fence not less than four (4) feet in height.

The site plan shall also include any other information required by the Department or Administrative Official to clarify the proposal, assess its impacts, or determine compliance with this Title. Note: If you have any questions about this process, please contact City of Yakima Planning Division – 129 N. 2nd St., Yakima, WA or by phone at: (509) 575-6183.

Rev: 7/25/18



**COMMUNITY DEVELOPMENT DEPARTMENT**

**Office of Code Administration**

**129 North Second Street, 2<sup>nd</sup> Floor Yakima, Washington 98901**

**(509) 575-6126 Fax (509) 576-6576**

**codes@yakimawa.gov www.buildingyakima.com**

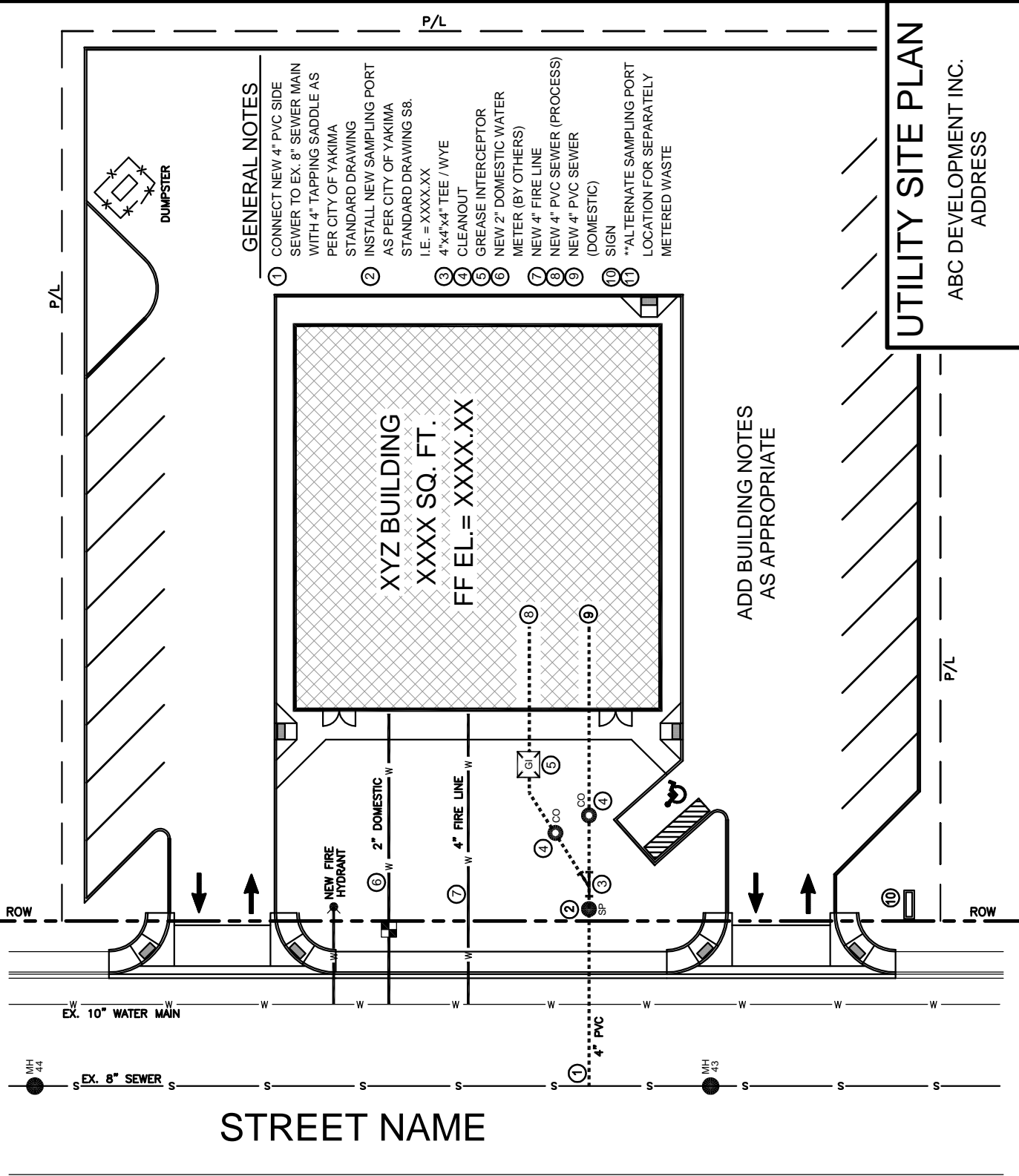
***Pretreatment Sample Port Application***

***Occupancies that discharge strong waste to the City of Yakima Wastewater Treatment Plant must comply with Chapter 7.65 of the Yakima Municipal Code.***

***This checklist outlines the process for submitting an application for review and approval for the installation of sample ports.***

- ➔ A Sample Port Application form may be submitted by the tenant, property owner and/or Contractor, however the permit can only be issued to the property owner or a licensed Contractor.
- ➔ Sewer installations must be performed by a State Licensed Contractor who is also a licensed City of Yakima licensed Side Sewer Installer.
- ➔ Please submit: 1) the completed Application form; 2) indication of which of the Sampling Manhole Standard Details will be used for the installation and 3) a utility site plan. The application will be routed to the Wastewater Pretreatment Supervisor for review. The review time period is up to 10-days.
- ➔ If you have any questions regarding the sample port location requirements, please contact the Wastewater Pretreatment Supervisor at 509-575-6077.
- ➔ If additional information is required in order to complete the review, the applicant will be contacted by the Code Administration Permit Project Coordinator and/or the Wastewater Pretreatment Supervisor.
- ➔ Once the application is approved, Lisa Maxey, Permit Project Coordinator (509-576-6669 or [lisa.maxey@yakimawa.gov](mailto:lisa.maxey@yakimawa.gov)) will notify the applicant that the permit is ready to be issued.
- ➔ At the time the permit is issued a copy of the approved sample port plan will be given to the applicant. The approved plan must be on site at the time inspections are performed by the Office of Code Administration.
- ➔ Work performed within the City Right-of-Way, require the submittal and approval of an Excavation / Street Break Permit Application pursuant to Chapter 8.72 Yakima Municipal Code (<http://www.yakimawa.gov/services/engineering/files/StreetBreak-October720142.pdf>). If you have questions regarding this process, please contact City Engineering at 509-575-6111.
- ➔ All work performed must be inspected before backfilling. In the event the work is backfilled without the required inspection(s), the owner/applicant will be responsible for exposing the work and scheduling the required inspection(s) to ensure the installation complies with applicable codes.

# EXAMPLE (Sampling Port Location Drawing)



## GENERAL NOTES

- ① CONNECT NEW 4" PVC SIDE SEWER TO EX. 8" SEWER MAIN WITH 4" TAPPING SADDLE AS PER CITY OF YAKIMA STANDARD DRAWING
- ② INSTALL NEW SAMPLING PORT AS PER CITY OF YAKIMA STANDARD DRAWING S8. I.E. = XXXX.XX
- ③ 4"x4"x4" TEE / WYE
- ④ CLEANOUT
- ⑤ GREASE INTERCEPTOR
- ⑥ NEW 2" DOMESTIC WATER METER (BY OTHERS)
- ⑦ NEW 4" FIRE LINE
- ⑧ NEW 4" PVC SEWER (PROCESS)
- ⑨ NEW 4" PVC SEWER (DOMESTIC)
- ⑩ SIGN
- ⑪ \*\*ALTERNATE SAMPLING PORT LOCATION FOR SEPARATELY METERED WASTE

XYZ BUILDING  
 XXXX SQ. FT.  
 FF EL. = XXXX.XX

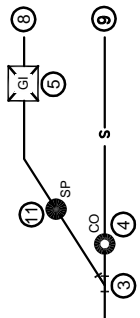
ADD BUILDING NOTES  
 AS APPROPRIATE

## UTILITY SITE PLAN

ABC DEVELOPMENT INC.  
 ADDRESS



### \* NOTE \*

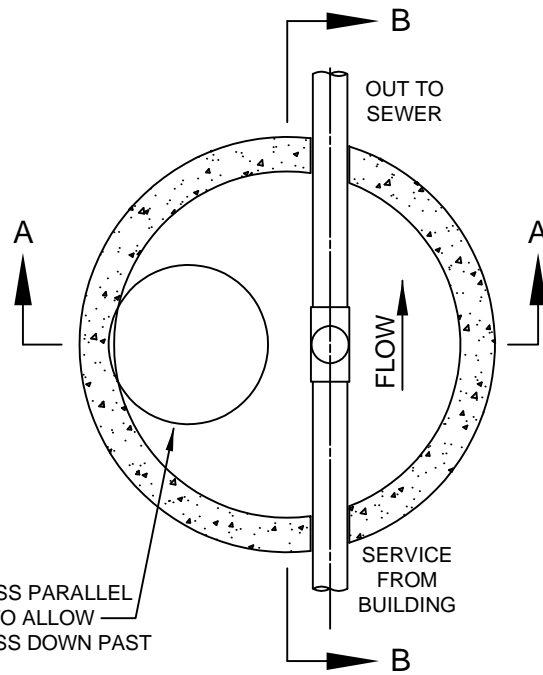


IF PROCESS WATER IS METERED SEPARATELY FROM DOMESTIC WATER, OR IF THE PROCESS WASTE WATER IS SEPARATELY METERED, RELOCATE SAMPLING PORT AS SHOWN ABOVE.

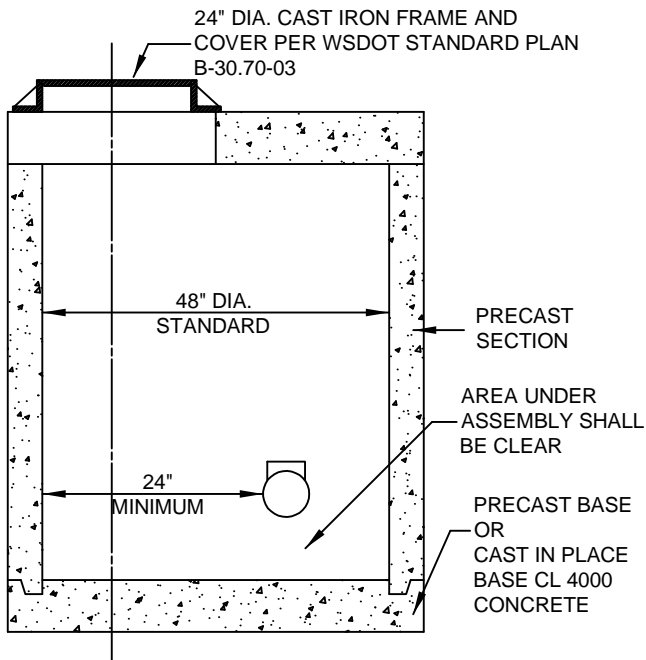
**NOTES**

1. MANHOLES SHALL BE STANDARD REINFORCED CONCRETE SECTIONS 48" I.D. x 4'-0". IF MORE THAN ONE SECTION IS USED, INSTALL RAMNEK AT JOINTS.
2. INSTALL RAMNEK SEAL UNDER COVER FRAME ENTIRELY AROUND MANHOLE.
3. SAMPLING PORT IS TO BE LOCATED IN A LOCATION WHERE IT CAN BE ACCESSED AT ANY TIME. LOCATION AS APPROVED BY CITY ENGINEER
4. NO OTHER APPARATUS SHALL BE INSTALLED IN THE SAMPLING PORT MANHOLE.
5. SAMPLING PORT MANHOLE LID SHALL NOT BE OF A BOLT DOWN TYPE BUT SHALL BE CAST IRON ONLY AS APPROVED BY THE CITY ENGINEER.

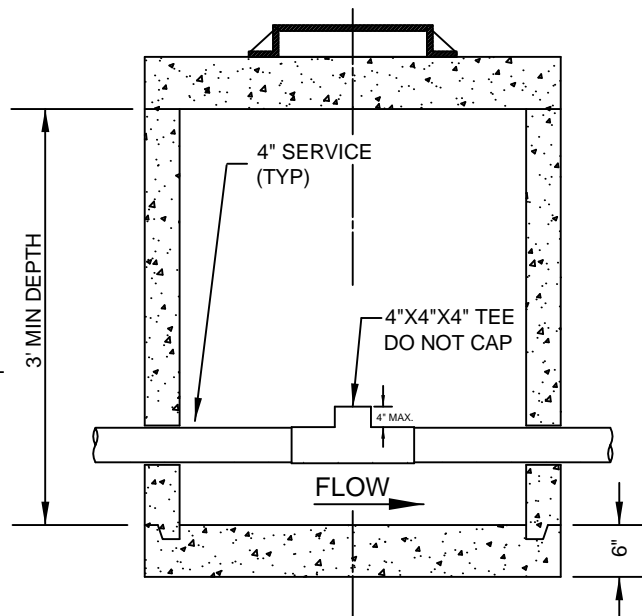
PLACE MANHOLE ACCESS PARALLEL TO THE SERVICE PIPE TO ALLOW SAMPLER CLEAR ACCESS DOWN PAST THE SERVICE.



**PLAN VIEW**



**SECTION A-A**



**SECTION B-B**



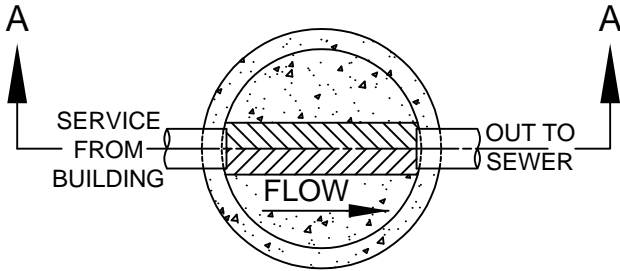
**City Of Yakima  
Engineering Division**

129 North Second Street  
Yakima, Washington

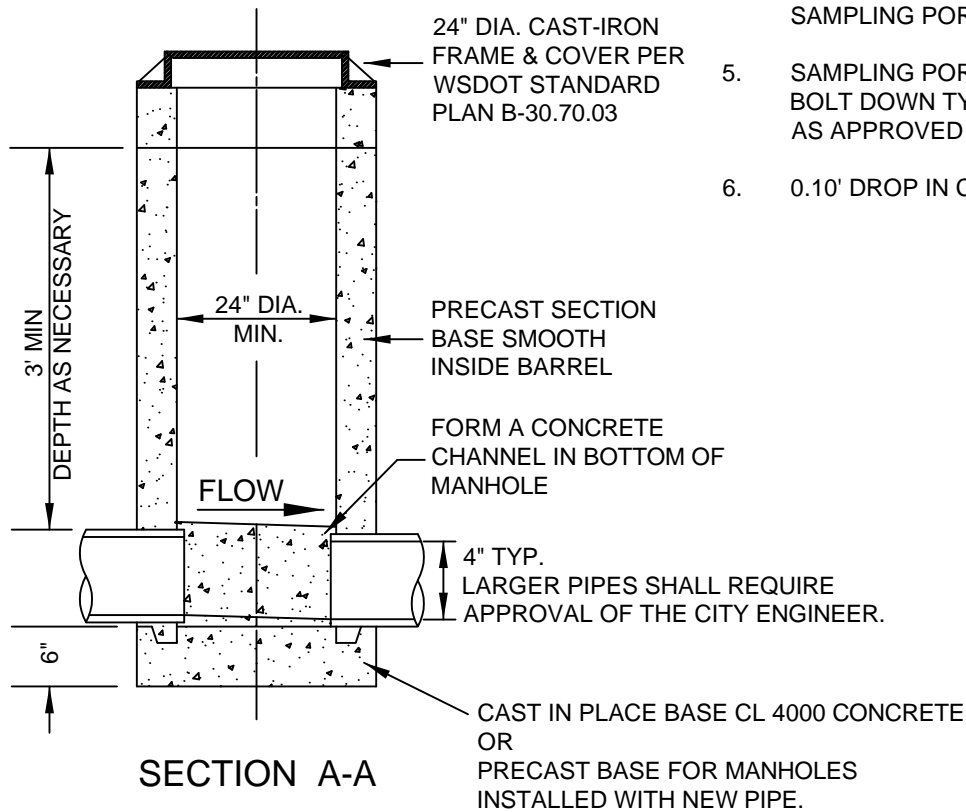
City of Yakima - Standard Detail

**SHALLOW SAMPLING MANHOLE S9**

NOT TO SCALE  
Revision 6-2017



PLAN VIEW



NOTES

1. MANHOLES SHALL BE STANDARD REINFORCED CONCRETE SECTIONS 24" I.D. x 4'-0". IF MORE THAN ONE SECTION IS USED, INSTALL RAMNEK AT JOINTS.
2. INSTALL RAMNEK SEAL UNDER COVER FRAME ENTIRELY AROUND MANHOLE.
3. SAMPLING PORT IS TO BE LOCATED WHERE IT CAN BE ACCESSED AT ANY TIME. LOCATION AS APPROVED BY THE CITY ENGINEER.
4. NO OTHER APPARATUS SHALL BE INSTALLED IN THE SAMPLING PORT MANHOLE.
5. SAMPLING PORT MANHOLE LID SHALL NOT BE OF A BOLT DOWN TYPE BUT MAY BE CAST IRON OR AS APPROVED BY THE CITY ENGINEER.
6. 0.10' DROP IN CHANNELS ACROSS MANHOLE

