



COMMUNITY DEVELOPMENT DEPARTMENT

Code Administration Division

129 North Second Street, 2nd Floor Yakima, Washington 98901

(509) 575-6126 • Fax (509) 576-6576

codes@yakimawa.gov • www.buildingyakima.com

MANUFACTURED HOME PLACEMENT APPLICATION PACKET

MANUFACTURED HOME PERMITS

- All mobile homes, manufactured homes, and modular homes placed in the City of Yakima are required to have a placement permit. **If the home proposed to be located is not a new home, please provide the original title or Auditors registration.**
- Placement permit fees are based on the estimated cost of the placement of the manufactured home.
- For previously owned/titled manufactured homes, or for manufactured homes constructed prior to June 15, 1976, please contact City Planning to verify the land use review process that would be applicable for your permit: (509) 575-6183 or ask.planning@yakimawa.gov.
- A Plumbing Permit application is included in this packet for connecting to water and sewer.
 - A licensed plumbing contractor must be used unless the owner is doing the work themselves. In any case, a properly licensed contractor is required for any work taking place in the right-of-way or in a City utility easement.
 - You may contact the Code Administration to verify applicable water and/or sewer permit fees: (509) 575-6126 or codes@yakimawa.gov.
 - If service is not available, the applicant will receive a copy of the application and plot plan to be taken to the Yakima Health District (1210 Ahtanum Ridge Dr, Union Gap, WA 98903; (509) 575-4040) to obtain drain field/septic tank clearance. If the property is served by Nob Hill Water, please contact their office at 6111 Tieton Dr or (509) 966-0272. If City or Nob Hill Water is not available, the applicant must contact Washington State Department of Ecology (1250 W Alder St, Union Gap, WA 98903; (509) 575-2490) to obtain approval/permits. A building permit cannot be issued without approval/verification that it can be served by utilities and that appropriate City, Yakima Health District and/or Department of Ecology permits have been obtained.
- Additions, covered porches, etc. require a separate building permit.
- Electrical permits are required from the Department of Labor and Industries (15 W Yakima Ave, Yakima, WA 98902; (509) 454-3760).
- Prior to demolition of any structures, contact the Yakima Regional Clean Air Agency for approval (329 N 1st St, Yakima, WA 98901; (509) 834-2050 or www.yakimacleanair.org).
- A Move Permit is required by the Yakima County Treasurer's Office (128 N 2nd St, Yakima, WA 98901). In order for their office to issue this permit, the applicant must provide proof a placement permit has been issued by the appropriate jurisdiction.



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**MANUFACTURED HOME
BUILDING PERMIT APPLICATION
YMC 11.06.020 – YMC 15.04.160**

Permit# _____

Site Address: _____ Parcel #: _____

Will 1 acre or more be cleared or graded? ☐ Yes ☐ No

Is the Property Within the Flood Area? ☐ Yes ☐ No

Describe work to be covered by this permit:

Park Name (if applicable): _____

Estimated cost for the placement of the manufactured home: \$ _____

OWNER/APPLICANT

Owner Name: _____ Phone No.: _____

Owner Address: _____

Owner Email: _____

Contact Person: _____ Contact Phone No.: _____

Contact Email: _____

MANUFACTURER AND DEALER OF THE MANUFACTURED HOME:

INSTALLER

Installer Name: _____ Phone No.: _____

Installer Address: _____ Email: _____

Installer Certification No.: _____ Certif. Expiration Date: _____

MANUFACTURED HOME INFORMATION

1) Size: ☐ Single Wide ☐ Double Wide ☐ Triple Wide

2) Number of Bedrooms: _____ 3) Number of Bathrooms: _____

4) Year of Home: _____ 5) Make: _____

6) Model: _____

7) Serial Number: _____ 8) Value (\$): _____

9) Dimensions: _____

10) Is this a previously titled manufactured home? ☐ Yes ☐ No

****If yes, provide the original title or Auditors registration.****

11) Provide the address, city, state, and zip code this manufactured home is moving from:

REQUIRED SUBMITTALS:

☐ Original Title or Auditors Registration (if it is not a new unit)

☐ Site Plan

- For units proposed to be moved to a lot that is not in a manufactured home park, the site plan must show relationship of manufactured home to the property lines, right-of-way, access and utility easements, other structures and utilities (YMC 11.06.020 (C)). Contact the City Planning Division to verify zoning and setback requirements: (509) 575-6183 or ask.planning@yakimawa.gov.
- For units proposed to be placed in an existing manufactured home park, the site plan must show the address, unit number, name of manufactured home park, and show that adjacent structures are spaced a minimum of 10 feet from the newly placed unit.

☐ Manufacturer's Installation Instructions

- **NOTE:** If the manufacturer's instructions are no longer available, using the attached sheets, you must provide the following by circling the information that applies to your project.

☐ Mainframe pier loads and locations

☐ Marriage line pier loads and locations

☐ Perimeter pier loads and locations

☐ Floor plan layout

☐ Runner design

☐ Tiedown layout

Declaration

I hereby certify that (please select one):

☐ I am a **CONTRACTOR** or **SPECIALTY CONTRACTOR** currently registered and properly licensed as defined under RCW 18.27.010 and 18.27.110 and am legally qualified to perform the work sought by this permit.

☐ I am an **AUTHORIZED AGENT** of the property owner and all work will be done by the property owner or a properly licensed contractor or specialty contractor as defined under RCW 18.27.010 and 18.27.110 and is legally qualified to perform the work sought by this permit.

☐ I am **EXEMPT** from the requirements of the Contractor Registration laws, per RCW 18.27.090, and will abide by all provisions and conditions of the exemption as stated. I will do all of my own work or use all registered and licensed contractors and/or specialized contractors in connection with the work to be performed under the permit applied for herein.

I hereby certify under penalty of perjury of the Laws of the State of Washington that I have read and examined this application and know that the information contained herein is true and correct. I understand that the granting of a permit does not authorize me in any way to violate or cancel any of the provisions of state, federal or local laws regulating the construction or performance of construction sought under this permit.

Signature

Print Name

Date



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PLUMBING PERMIT APPLICATION

Permit# _____

Job Address: _____ **Parcel Number:** _____

Project Description: _____

Estimated cost of the work to be performed (materials and labor): \$ _____

Property Owner

Name: _____

Address: _____

City/State/Zip: _____

E-mail: _____

Phone: _____

Alt. Phone: _____

Contractor

Business Name: _____

Address: _____

City/State/Zip: _____

E-mail: _____

State Cont. Lic. #: _____ **exp.** _____

Phone: _____

ITEM	EXISTING QUANTITY	NEW QUANTITY
Atmospheric Breaker		
Backflow Device (RPBA or DCVA) <2"		
Backflow Device (RPBA or DCVA) >2"		
Bar Sink		
Bathtub		
Clothes Washer		
Dishwasher		
Drinking Fountain		
Floor Drain		
Hose Bib		
Kitchen Sink		
Kitchen Sink 3 Compartment		
Laundry Tray		
Lavatory (Basin)		
Miscellaneous:		

ITEM	EXISTING QUANTITY	NEW QUANTITY
Mop Sink		
Pretreatment Interceptor		
Repair/Alt. Drain/Vent Piping		
Roof Drain		
Sewage Pump		
Sewer Repair/Replacement		
Shower		
Sink		
Supplemental Permits		
Urinal		
Water Closet – Tank Type		
Water Closet – Flushometer Type		
Water Heater		
Water Piping/Service		
Sampling Port		

Declaration

I hereby certify that (please select one):

- ☐ I am a **CONTRACTOR** or **SPECIALTY CONTRACTOR** currently registered and properly licensed as defined under RCW 18.27.010 and 18.27.110 and am legally qualified to perform the work sought by this permit.
- ☐ I am an **AUTHORIZED AGENT** of the property owner and all work will be done by the property owner or a properly licensed contractor or specialty contractor as defined under RCW 18.27.010 and 18.27.110 and is legally qualified to perform the work sought by this permit.
- ☐ I am **EXEMPT** from the requirements of the Contractor Registration laws, per RCW 18.27.090, and will abide by all provisions and conditions of the exemption as stated. I will do all of my own work or use all registered and licensed contractors and/or specialized contractors in connection with the work to be performed under the permit applied for herein.

I hereby certify under penalty of perjury of the Laws of the State of Washington that I have read and examined this application and know that the information contained herein is true and correct. I understand that the granting of a permit does not authorize me in any way to violate or cancel any of the provisions of state, federal or local laws regulating the construction or performance of construction sought under this permit.

Signature

Print Name

Date

**THE FOLLOWING 6 SHEETS ARE ONLY APPLICABLE FOR UNITS WHERE THE
MANUFACTURER'S INSTALLATION INSTRUCTIONS ARE NO LONGER AVAILABLE.**

Circle the information that applies to your project.

Table 3-1 – General Description of Soils

Soil Type Based on the unified classification system	Allowable Pressure
	(pounds per square foot) No allowances made for overburden pressure, embedment depth, water table height, or settlement problems
Rock or hard pan	4,000 and up
Sandy gravel and gravel	2,000
Sand, silty sand, clayey sand, silty gravel, or clayey gravel	1,500
Clay, sandy clay, silty clay, or clayey silt	1,000
Uncompacted fill	Special analysis is required
Peat or organic clays	Special analysis is required

NOTE –

1. To be used only when none of the following is available: soils investigation and analysis of the site; compliance with the local building code; and evaluation by a registered professional engineer, architect, or building official.
2. Hereafter, the words "engineer" or "architect" shall refer to a registered professional engineer or architect.

**Table 4-1 – Minimum Pier Capacity
Frame Plus Perimeter Blocking
(Both Frame and Perimeter Blocking Required)**

Section Width (feet)	Roof Live Load (pounds per square foot)	Pier Location	Minimum Pier Capacity (pounds)			
			Maximum Pier Spacing (feet)			
			4	6	8	10
8	20	Frame	900	1300	1800	2200
		Perimeter	600	800	1100	1400
	30	Frame	900	1300	1800	2200
		Perimeter	700	1100	1400	1800
	40	Frame	900	1300	1800	2200
		Perimeter	900	1300	1800	2200
10	20	Frame	1100	1700	2200	2800
		Perimeter	700	1100	1400	1800
	30	Frame	1100	1700	2200	2800
		Perimeter	900	1400	1800	2300
	40	Frame	1100	1700	2200	2800
		Perimeter	1100	1700	2200	2800
12	20	Frame	1300	1900	2600	3200
		Perimeter	800	1200	1600	2000
	30	Frame	1300	1900	2600	3200
		Perimeter	1100	1600	2100	2600
	40	Frame	1300	1900	2600	3200
		Perimeter	1300	1900	2600	3200
14	20	Frame	1500	2200	3000	3700
		Perimeter	900	1400	1900	2400
	30	Frame	1500	2200	3000	3700
		Perimeter	1200	1800	2400	3000
	40	Frame	1500	2200	3000	3700
		Perimeter	1500	2200	3000	3700
16	20	Frame	1700	2600	3400	4300
		Perimeter	1100	1600	2200	2700
	30	Frame	1700	2600	3400	4300
		Perimeter	1400	2100	2800	3500
	40	Frame	1700	2600	3400	4300
		Perimeter	1700	2600	3400	4300
18	20	Frame	1900	2900	3900	4800
		Perimeter	1200	1800	2500	3100
	30	Frame	1900	2900	3900	4800
		Perimeter	1600	2400	3200	3900
	40	Frame	1900	2900	3900	4800
		Perimeter	1900	2900	3900	4800

**Table 4-2 – Minimum Pier Capacity
Multisection Center-Beam Blocking**

Section Width (feet)	Roof Live Load (pounds per square foot)	Pier Load and Minimum Pier Capacity (pounds)						
		Mating Wall Opening (feet)						
		5	10	15	20	25	30	35
8	20	600	1200	1800	2400	3000	3600	4200
	30	800	1600	2400	3200	4000	4800	5600
	40	1000	2000	3000	4000	5000	5000	7000
10	20	800	1500	2300	3000	3800	4500	5300
	30	1000	2000	3000	4000	5000	6000	7000
	40	1300	2500	3800	5000	6300	7500	8800
12	20	900	1800	2600	3500	4400	5300	6100
	30	1200	2300	3500	4700	5800	7000	8200
	40	1500	2900	4400	5800	7300	8800	10200
14	20	1000	2000	3000	4100	5100	6100	7100
	30	1400	2700	4100	5400	6800	8100	9500
	40	1700	3400	5100	6800	8400	10100	11800
16	20	1200	2300	3500	4700	5800	7000	8100
	30	1600	3100	4700	6200	7800	9300	10900
	40	1900	3800	5800	7500	9700	11600	13600

EXAMPLE: 14-foot section width
30-pounds-per-square-foot roof live load
18-foot-wide mating-wall opening

Follow down the "Section Width" column to "14 feet." Follow across to "30 pounds per square foot" (psf) in the "Roof Live Load" column. Since the mating wall opening is 18 feet wide, follow across to the column headed "20." (For any opening width that is not shown, use the next highest number on the chart.) The required pier capacity is 5,400 pounds.

Table 4-3 – Footing Size^{1,2}

Pier— Capacity (pounds.)	Minimum Footing Size or Equal Area (inches)			
	Soil Capacity			
	1000 psf ³	1500 psf ³	2000 psf ³	4000 psf ³
600	9 x 9	8 x 8	7 x 7	5 x 5
800	11 x 11	9 x 9	8 x 8	5 x 5
1000	12 x 12	10 x 10	8 x 8	6 x 6
1500	15 x 15	12 x 12	10 x 10	7 x 7
2000	17 x 17	14 x 14	12 x 12	8 x 8
2500	19 x 19	15 x 15	13 x 13	10 x 10
3000	21 x 21	17 x 17	15 x 15	11 x 11
3500	22 x 22	18 x 18	16 x 16	12 x 12
4000	24 x 24	20 x 20	17 x 17	13 x 13
4500	25 x 25	21 x 21	18 x 18	13 x 13
5000	27 x 27	22 x 22	19 x 19	14 x 14
5500	28 x 28	23 x 23	20 x 20	15 x 15
6000	29 x 29	24 x 24	21 x 21	15 x 15
6500	31 x 31	25 x 25	22 x 22	16 x 16
7000	32 x 32	26 x 26	22 x 22	16 x 16
7500	33 x 33	27 x 27	23 x 23	17 x 17
8000	34 x 34	28 x 28	24 x 24	17 x 17
8500	35 x 35	29 x 29	25 x 25	18 x 18
9000	36 x 36	29 x 29	25 x 25	19 x 19
10000	38 x 38	31 x 31	27 x 27	20 x 20
11000	40 x 40	32 x 32	28 x 28	21 x 21
12000	42 x 42	34 x 34	29 x 29	22 x 22
13000	43 x 43	35 x 35	31 x 31	22 x 22
14000	45 x 45	37 x 37	32 x 32	23 x 23
15000	46 x 46	38 x 38	33 x 33	24 x 24
16000	48 x 48	39 x 39	34 x 34	25 x 25
17000	49 x 49	40 x 40	35 x 35	25 x 25
18000	51 x 51	42 x 42	36 x 36	26 x 26
19000	52 x 52	43 x 43	37 x 37	

NOTE –

1. The footing sizes shown are for square pads and are based on the area (square inches) required for the load. Other footing configurations, such as a rectangular configuration, may be used, provided the area (square inches) is equal to or greater than the area of the square footing shown in the table. For example, a 12-inch x 22-inch (264-square-inch) footing may be used in place of a 16-inch x 16-inch (256-square-inch) footing. Also, two 12-inch x 24-inch pads may be used in place of one 24-inch x 24-inch pad.

2. Local regulations may require design verification by an engineer.

3. psf -- pounds per square foot

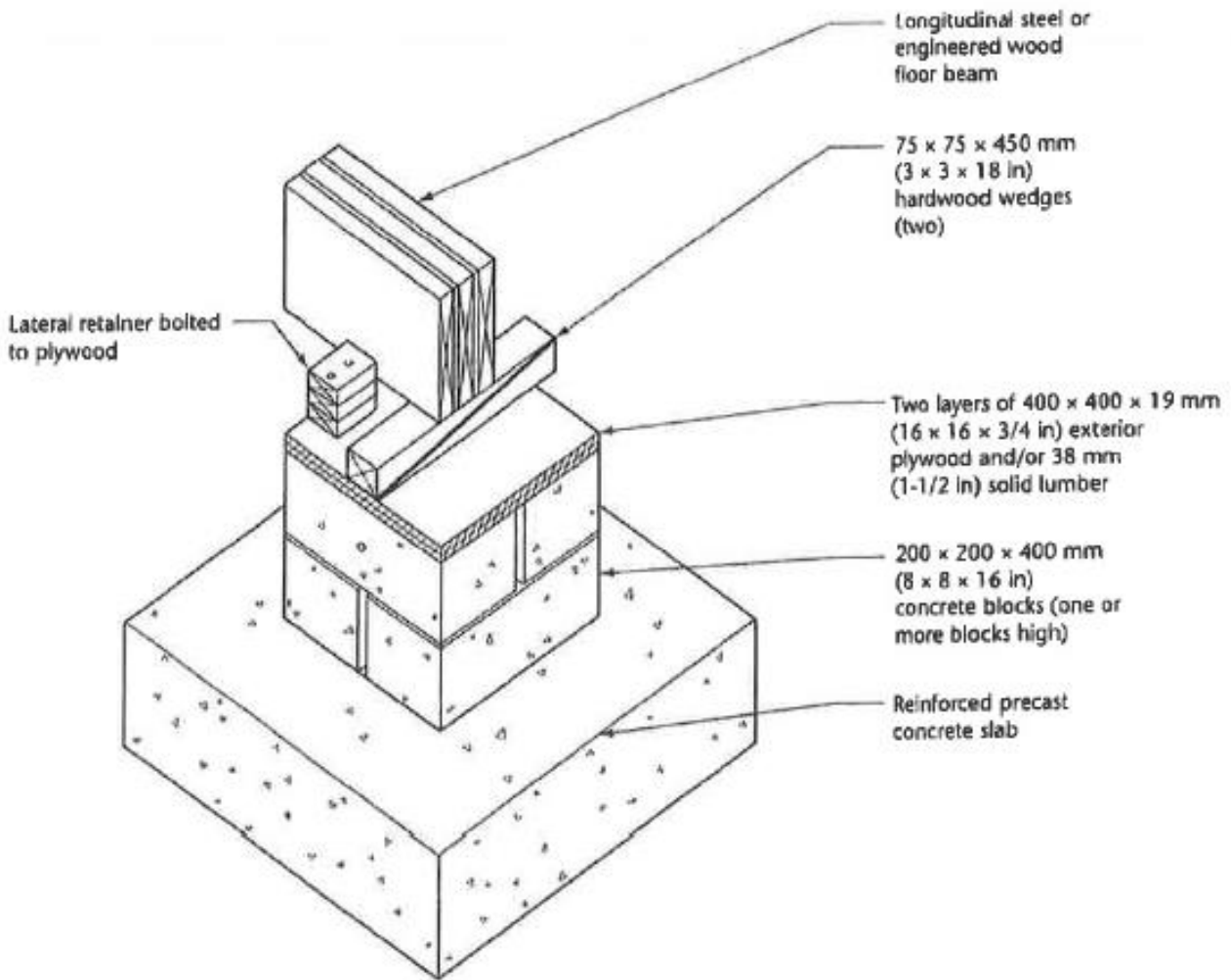
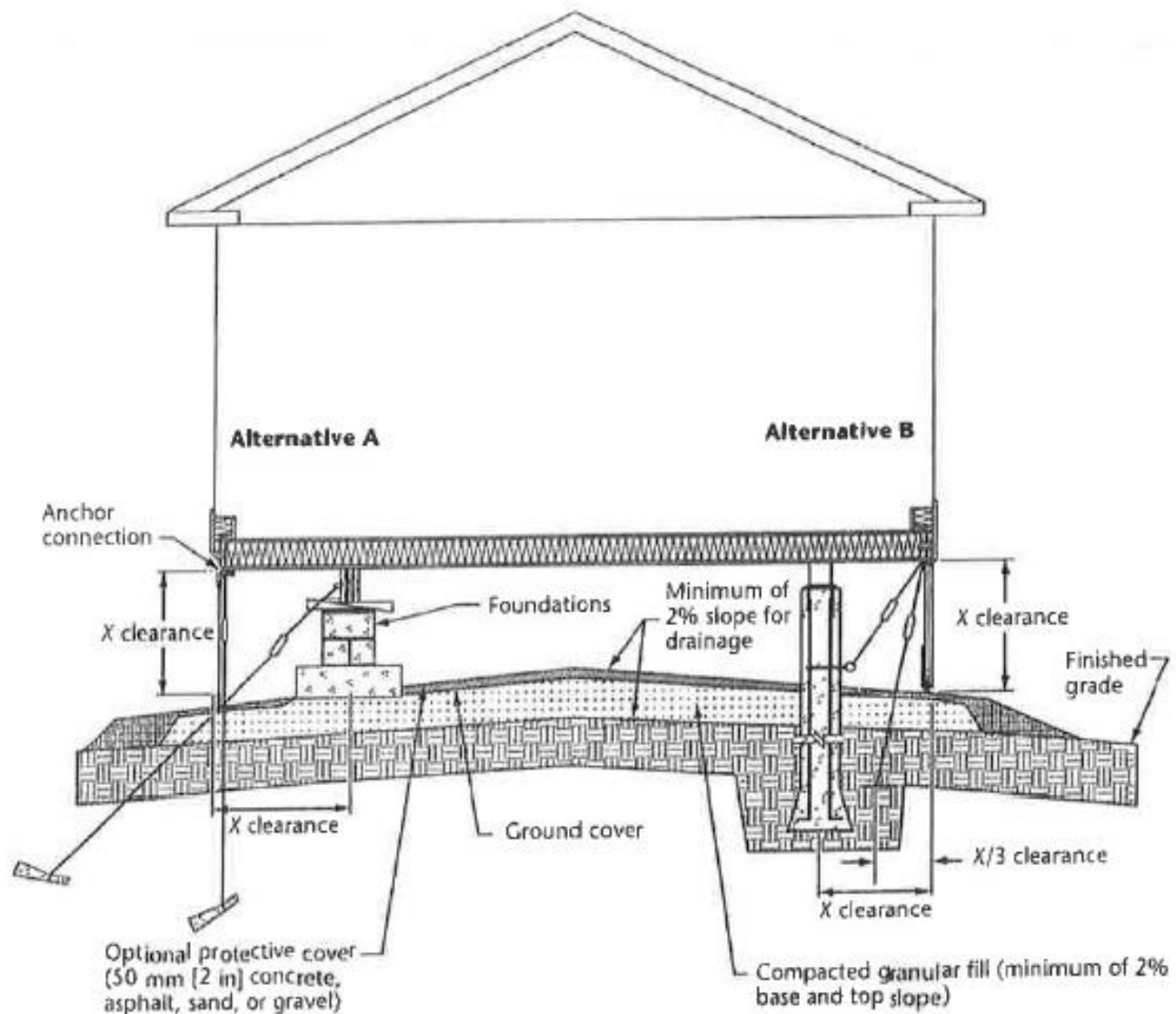


Figure B.4
Concrete block surface foundation system
 (See Clause B.6.)

inches) is equal to or greater than the area of the square footing shown in the table. For example, a 12-inch x 22-inch (264-square-inch) footing may be used in place of a 16-inch x 16-inch (256-square-inch) footing. Also, two 12-inch x 24-inch pads may be used in place of one 24-inch x 24-inch pad.

2. Local regulations may require design verification by an engineer.
3. psf -- pounds per square foot



Notes:

- (1) The ultimate capacity of anchors and connections to the unit should be not less than 17.8 kN (4000 lb), with the anchors located not more than 1200 mm (4 ft) from the ends and spaced not more than 3660 mm (12 ft) on-centre along the sides of the unit.
- (2) Anchors should connect directly to wall studs to provide maximum restraint against uplift of the wall.
- (3) Anchors should be tightened to a minimum force of 13.35 kN (3000 lb) before adjustment to allow slack in the anchor cables.
- (4) For Alternative A, the slack should not exceed 75 mm (3 in) for diagonal cables and 50 mm (2 in) for vertical cables.
- (5) For Alternative B, the slack in the cables should not exceed 50 mm (2 in), although no slack is preferable.
- (6) For non-tornado areas, the spacing between anchors may be increased to 7320 mm (24 ft).

Figure C.5
Anchorage for tornado protection
 (See Clause C.4.)



CITY OF YAKIMA SITE PLAN CHECKLIST

For Land Use Review & Building Permits



Site plans required for land use review and building permits shall include the items listed below.

Sections from the Yakima Municipal Code are referenced by some items to help guide applicants. This is not a comprehensive list. View the full Yakima Municipal Code here: <https://www.codepublishing.com/WA/Yakima/>

- ☐ Property address, parcel number, and zoning designation;
- ☐ Legal description of the land;
- ☐ North arrow and scale of drawing;
- ☐ Name of applicant, phone number, signature of property owner and project name;
- ☐ Actual dimensions and shape of the lot to be built upon;
- ☐ Sizes and location of existing structures on the lot to the nearest foot;
- ☐ Location and dimensions of proposed structures and uses;
- ☐ All structure setbacks ([YMC § 15.05.030](#));
- ☐ Lot coverage calculations ([YMC § 15.05.020\(C\)](#));
- ☐ Clearview triangle ([YMC § 15.05.040](#));
- ☐ Size and location of proposed and existing utility easements and other easements;
- ☐ Location and size of required site drainage facilities including on-site retention;
- ☐ Adjacent Right-of-Way dedication and frontage improvements;
- ☐ Distance(s) of structures to property line and to the centerline of the Right-of-Way ([YMC §15.05.030](#), Table 5-1);
- ☐ Location of ingress and egress, including curb cuts intersecting with streets and dimensions of proposed or existing driveways ([YMC § 15.06.065](#));
- ☐ Location and size of parking stalls with accessible parking spaces and aisles identified ([YMC Ch. 15.06](#));
- ☐ Location of electric vehicle (EV) infrastructure;
- ☐ Parking circulation plan with proposed landscaping and sitescreening ([YMC Ch. 15.06](#));
- ☐ Location and size of new or existing loading spaces ([YMC § 15.06.130](#));
- ☐ Proposed and existing signage ([YMC Ch. 15.08](#)); and
- ☐ Proposed or existing mailbox location.

A site plan for development in the floodplain overlay shall also include the following information:

- ☐ Size and location of floodplain and floodway on the lot;
- ☐ Elevation in relation to the one-hundred-year flood level of the lowest floor (including basement) of all structures;
- ☐ Elevation in relation to mean sea level of any structure that has been floodproofed;
- ☐ Certification by a registered professional engineer or architect that established floodproofing standards have been met;
- ☐ Description of the extent to which any watercourse will be altered or relocated as a result of the proposed development; and
- ☐ Any other site plan requirements identified in [YMC Ch. 15.27](#) Part Four.

Additional information may be requested. Projects requiring work in the public right-of-way or involving city water main lines or sewer main lines will be required to submit civil plans to the Engineering Division for review.