

*COMMUNITY DEVELOPMENT DEPARTMENT*

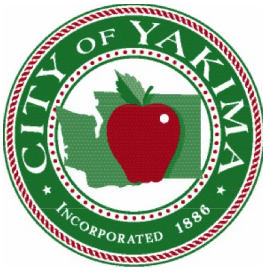
*Joan Davenport, AICP, Director*

*Code Administration Division*

*129 North Second Street, 2nd Floor Yakima, Washington 98901*

*Phone (509) 575-6126 • Fax (509) 576-6576 E-mail: [codes@yakimawa.gov](mailto:codes@yakimawa.gov)*

**RESIDENTIAL  
SOLAR  
PHOTOVOLTAIC  
SYSTEMS  
ROOF MOUNTED  
APPLICATION  
PACKET**



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## Over-the-Counter Building Permit Checklist for Residential Solar Photovoltaic Systems: Roof Mounted

**Contractors can apply for an Over-the-Counter (OTC) permit where the PV system meets the requirements listed in this checklist. All project plans and supporting documentation must be provided on-site for the inspector.**

**Please complete this checklist and submit with a completed Building Permit Application form and (2) sets of construction plans.**

**TO BE COMPLETED BY APPLICANT TO DETERMINE IF THE PROJECT QUALIFIES FOR EXPEDITED PERMITTING:**

1.	PV system is designed and proposed for a detached one- or two-family dwelling or townhouse not more than (3) stories above grade or detached accessory structure and are listed and labeled in accordance with UL1741.	<input type="checkbox"/> Yes <input type="checkbox"/> No
2.	Modules on pitched roofs do not exceed the highest point of the roof unless approved by the local jurisdiction.	<input type="checkbox"/> Yes <input type="checkbox"/> No
3.	Rooftop is made from lightweight material such as a single layer of composition shingles, metal roofing, lightweight masonry, or cedar shingles.	<input type="checkbox"/> Yes <input type="checkbox"/> No
4.	The PV system is designed for the wind speed of the local area and will be installed per the manufacturer's specifications (IRC R.324.4). City of Yakima Residential = 110 mph (or 85 mph for ASD).	<input type="checkbox"/> Yes <input type="checkbox"/> No
5.	Total dead load of modules, supports, mountings, raceways and all other appurtenances weigh no more than (4) pounds per square foot (IRC R.324.4). <b>The total dead load of the system is (lbs/ft): _____</b>	<input type="checkbox"/> Yes <input type="checkbox"/> No
6.	To address uplift, modules are mounted no higher than 18 inches above the surface of roofing to which they are affixed (IRC R.324.4).	<input type="checkbox"/> Yes <input type="checkbox"/> No
7.	Supports for solar modules are installed to spread the dead load across as many roof-framing members as needed to ensure that no point load exceeds (50) pounds (IRC R.324.4).	<input type="checkbox"/> Yes <input type="checkbox"/> No
8.	The manufacturer's instructions and specifications are included with the completed Building Permit application form.	<input type="checkbox"/> Yes <input type="checkbox"/> No
9.	Is the building located in a Historic District or on a Historical Register?	<input type="checkbox"/> Yes <input type="checkbox"/> No



Community Development Department  
**Code Administration Division**  
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 Phone: (509) 575-6126 \* Fax: (509) 576-6576  
 codes@yakimawa.gov \* www.buildingyakima.com

# Building Permit Application

**Building Permit #** \_\_\_\_\_

Site Address: \_\_\_\_\_ Parcel #: \_\_\_\_\_

Primary Contact Name: \_\_\_\_\_ Phone#: \_\_\_\_\_ Email: \_\_\_\_\_

Construction Type(s): \_\_\_\_\_ IBC/IRC Occupancy Classification \_\_\_\_\_ Estimated Cost of Construction: \_\_\_\_\_

Change of Occupancy?  Yes  No Is this an Accessory Dwelling Unit per YMC 15.09.045?  Yes  No

Will 1 acre or more be cleared or graded?  Yes  No Will temporary construction trailers be utilized?  Yes  No

Is property within the flood area?  Yes  No

## Description of Work

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## Building Information

- Single-Family New     Single-Family Alteration     Single-Family Addition  
 Multifamily New     Multifamily Alteration     Multifamily Addition  
 Commercial New     Commercial Addition     New Commercial Tenant     Renovation for Existing Commercial Tenant

### Square Footages of NEW Construction

1<sup>st</sup> Floor \_\_\_\_\_ 2<sup>nd</sup> Floor \_\_\_\_\_ 3<sup>rd</sup> Floor \_\_\_\_\_ Basement \_\_\_\_\_ Unfinished Attic Space \_\_\_\_\_

Garage \_\_\_\_\_ Carport \_\_\_\_\_ Covered Patio \_\_\_\_\_ Covered Porch \_\_\_\_\_

# of stories \_\_\_\_\_ # of bathrooms \_\_\_\_\_ # of bedrooms \_\_\_\_\_ # of units (residential) \_\_\_\_\_ # of tenants (commercial) \_\_\_\_\_

Fire Sprinkler?:  Yes  No City Water?:  Existing  New City Sewer?:  Existing  New

Fire Alarm?:  Yes  No Well?:  Existing  New Septic System?:  Existing  New

## Contact Information

Applicant Name: \_\_\_\_\_ Applicant Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_ Alt. Phone: \_\_\_\_\_

Contractor Name: \_\_\_\_\_ Contractor Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_ Contractor License #: \_\_\_\_\_

Architect Name: \_\_\_\_\_ Architect Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_ Architect License #: \_\_\_\_\_

Property Owner Name: \_\_\_\_\_ Owner Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_ Alt. Phone: \_\_\_\_\_

Lending Info Provided?  N/A  Not Provided  To be provided at a later date

Lending Institution: \_\_\_\_\_ Phone #: \_\_\_\_\_ Address: \_\_\_\_\_

I hereby certify under penalty of perjury of the Laws of the State of Washington that I have read and examined this **application and** know that the information contained herein is true and correct. I certify that I am the owner of the subject property, or, **that I** have been given express permission by the owner of the subject property to submit this application for permit. I understand that the granting of a permit does not authorize me in any way to violate or cancel any of the provisions of state, federal or **local laws** regulating the construction or performance of construction sought under this permit.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date