

**CITY OF YAKIMA  
DEPARTMENT OF PUBLIC WORKS  
TECHNICAL SERVICES  
REQUEST FOR PROPOSALS**

**Publication Advertisement**

The City of Yakima is requesting proposals from qualified firms interested in providing technical services to perform the 3D Capitol Theatre As-Built Survey. The work will consist of performing an as-built 3D Laser Scan survey of the Capitol Theatre and the attached 4<sup>th</sup> Street Theatre.

The complete Request for Proposals (RFP) may be found here: <https://www.yakimawa.gov/services/engineering/>.

The City reserves the right to amend the terms of this "Request for Proposals" (RFP), and to circulate various addenda.

Proposals shall be limited to ten (10) pages and shall follow the guidance in the complete RFP information found at the web address above. Proposals will be evaluated on a competitive basis using the criteria listed in the complete RFP. The City will score the Proposals received and may conduct interviews.

Proposals shall be received by email to [engineering@yakimawa.gov](mailto:engineering@yakimawa.gov). **Proposals are due by August 26, 2025, at 3:00pm.** Questions regarding the RFP should be directed to Bill Preston, PE, Community Development Director at (509) 576-6754, [Bill.Preston@yakimawa.gov](mailto:Bill.Preston@yakimawa.gov).

The City of Yakima in accordance with Section 504 of the Rehabilitation Act (Section 504) and the Americans with Disabilities Act (ADA), commits to nondiscrimination on the basis of disability, in all of its programs and activities. This material can be made available in an alternate format by emailing or calling Bill Preston at the information provided above.

The City, in accordance with Title VI of the Civil Rights Act of 1964, (78 Stat. 252, 42 U.S.C. 2000d to 2000d-4) and the Regulations, hereby notifies all bidders that it will affirmatively ensure that in any contract entered into pursuant to this advertisement, disadvantaged business enterprises will be afforded full and fair opportunity to submit bids in response to this invitation and will not be discriminated against on the grounds of race, color, or national origin in consideration for an award.

Qualified disadvantaged, minority, and women-owned consultants are encouraged to respond. The City of Yakima is an equal opportunity employer.

**Background**

The Capitol Theatre is the largest and most technically capable performing arts venue in Central Washington. As such, it is the cultural heart of our valley and is home to three local non-profits that bring a variety of performing arts to Yakima.

In order to proactively address the critical mass of improvements needed to continue as a modern performing arts space, the Capitol Theatre needs to undergo extensive updates to cater to modern needs of performers and audience members alike.

The City of Yakima ("City") and the Capitol Theatre Committee ("CTC") – the non-profit that manages the Capitol Theatre seek to contract with a qualified consulting firm for performing a 3D Laser Scan of the Capitol Theatre and the 4<sup>th</sup> Street Theatre for the Capital Improvements Project. The resulting remodeling projects will include three stages; 4<sup>th</sup> Street Terrace & Remodel, Capitol Theatre House Renovation, and Façade Remodel.

### **Anticipated Scope of Work**

The City is soliciting proposals from firms to perform the work as listed below:

#### **3D SCAN CONTENT**

- Perform As-Built 3D Laser Scan of complete buildings on properties located at 19 South 3rd Street and 14 S 4th Street Yakima, Washington 98902.
- All accessible Exterior and Interior of the Building.
- Interstitial space above dome accessible by catwalk
- Interstitial space below balcony structure – confirm how this can be scanned – temporary removal of light fixtures or speakers could provide access to structural plenum without damaging ceilings. There is a roughly 3' wide and 1' tall opening in wall (images provided). On-site reconnaissance may be required to confirm if sufficient for equipment access.

#### **DELIVERABLES**

- Revit Model: Autodesk Revit Model to be created in accordance with AIA/BIM Forum Level of Development (LOD) 200/300 and the USIBD Level of Accuracy (LOA) - LOA20.
- Model to be delivered in RVT 2024 format.
- Floor Flatness Report (Report containing colorized heatmap displaying the deviations of a floor surface captured by the 3D laser scanner. The comparison shows deviations (both positive and negative)
- Architectural Package: Dimensioned set of As-Built Plans (pdf format) including the following:
  - Slab Plans (include spot elevations on 12" x 12" module)
  - Floor Plans
  - Roof Plans
  - Exterior Elevations
  - Interior Elevations (Detailed elevations of vertical surfaces of building interiors of 19 South 3rd Street - Foyer, Auditorium, Mezzanine Bar, Balcony. See attached plans for markups of required elevations)
  - Reflected Ceiling Plans
  - Building Sections (Section View of vertical plane in building structure, from the finished floor to top of structure)

#### **DRAWING STANDARDS**

- Model shall be in Revit 2024 format.
- Point Cloud Model in RCP/RCS linked to Revit Model.

#### **SEE ATTACHED SHEETS FOR DESCRIPTION OF AREAS**

## **Submittal Requirements**

Submit your Proposal by email to Bill Preston at [engineering@yakimawa.gov](mailto:engineering@yakimawa.gov). The Proposal should include the following:

1. Cover Letter describing the submitting firm and relevant experience, 1 page maximum.
2. Description of the project team, equipment and software to be used, 3 pages maximum.
3. Summary of 3 similar projects with references, 3 pages maximum.
4. Description of the firm's project approach, including methods proposed to complete the survey, 2 pages maximum.
5. Cost Estimate, 1 page

## **Selection Process**

Consultant selection will be based on the Proposals using the following criteria and weighting:

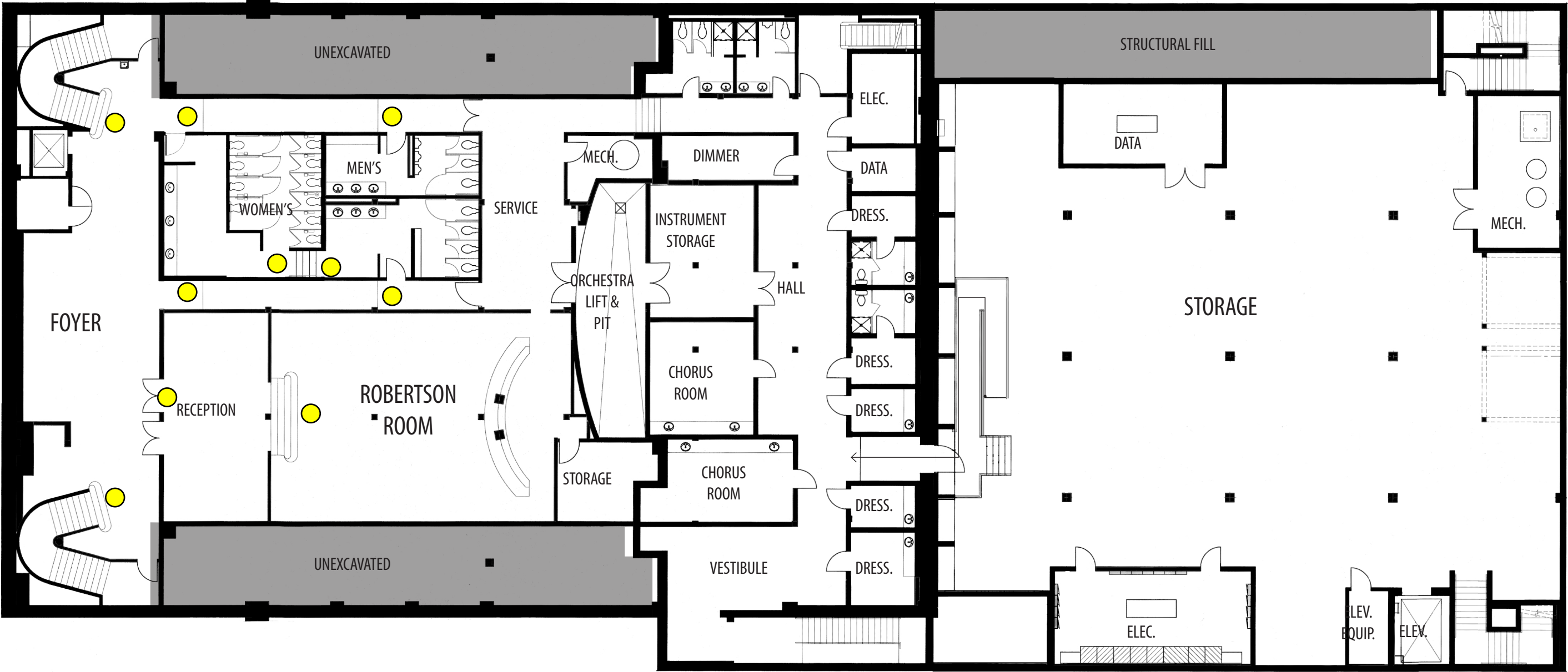
<u>Criteria</u>	<u>Points</u>
1. Project Team Qualifications & Organization	0-20
2. Similar Projects/Experiences	0-15
3. Project Approach	0-40
4. Cost	<u>0-25</u>
<b>Max Points</b>	<b>100</b>





Staff will review the proposals received based on the evaluation criteria. If necessary, staff will shortlist the prospective consultants for an interview. Short-listed consultant teams will be ranked after the interview. The City may choose to contact officials from other jurisdictions regarding the consultant, their prior work experience and their ability to successfully complete the work.

The City intends to enter into an agreement with the Consultant who provides a Proposal that, in the opinion of the City, best meets all the listed evaluation criteria as determined by the City's selection committee and ranks the highest. The City Engineer will submit a final recommendation to the City Manager and the City Council for approval. Upon selection of a Consultant, the City intends to enter into an agreement using its standard Professional Services Agreement, which shall be used to secure these services.

All communication with the City and/or questions related to this RFP shall be directed to Bill Preston, PE, Community Development Director, at 509-576-6754, or by email to: [bill.preston@yakimawa.gov](mailto:bill.preston@yakimawa.gov).

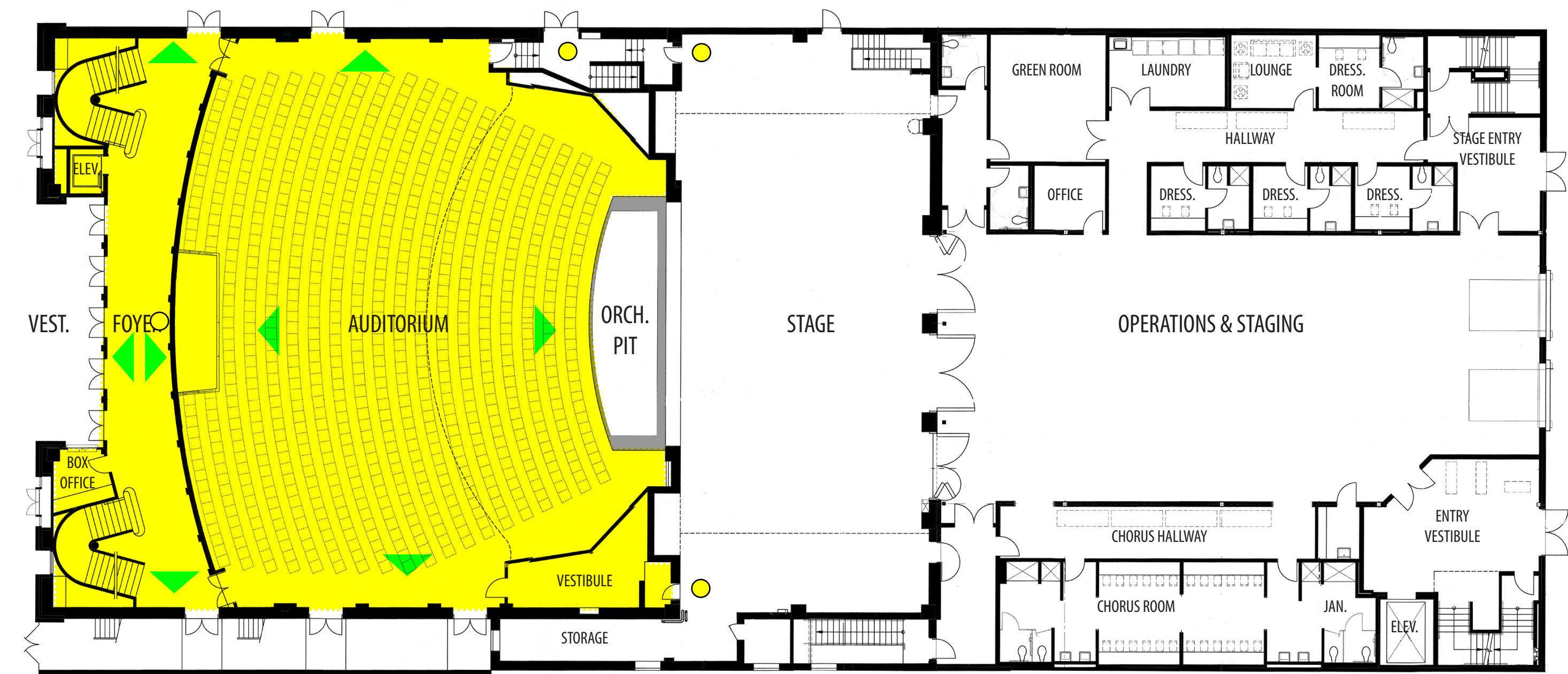
# CAPITOL THEATRE PLAN - (E) BASEMENT







-  Detailed Interior Elevations for Architectural Package with Dimensioned set of As-Built Plans
-  Zone to document spot elevations on 12" x 12" module in for Architectural Package with Dimensioned set of As-Built Plans
-  spot elevations for Architectural Package with Dimensioned set of As-Built Plans
-  Interstitial Space to be documented

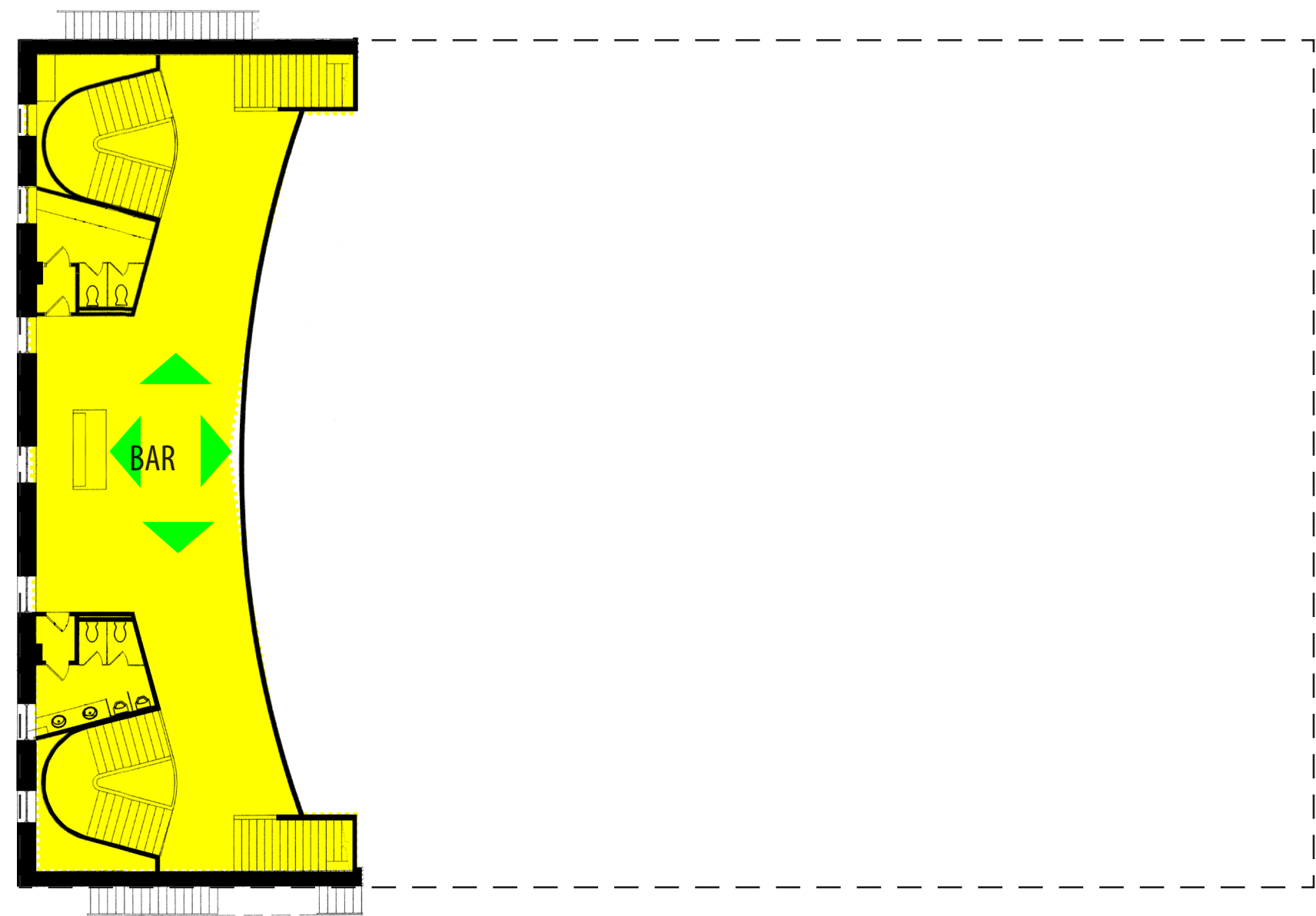






# CAPITOL THEATRE PLAN - (E) LEVEL 1



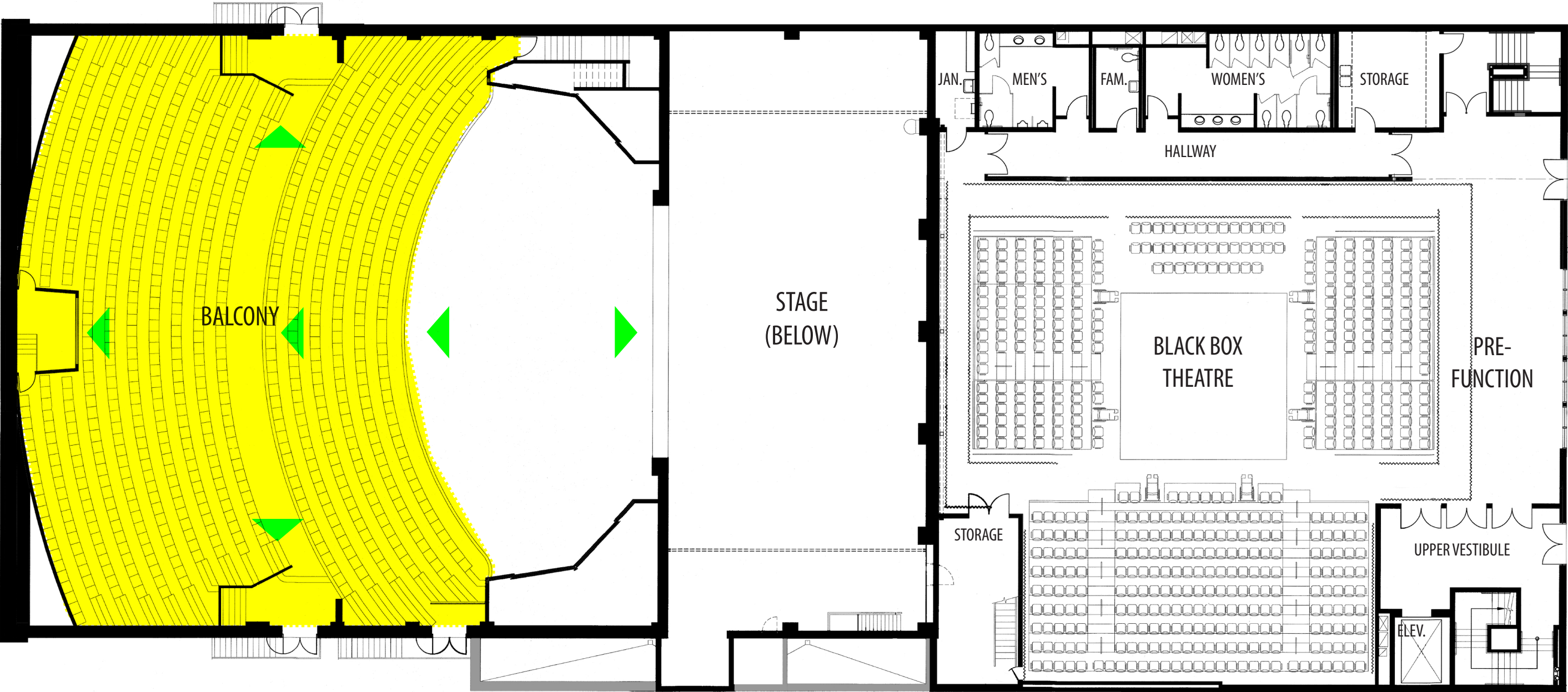
-  Detailed Interior Elevations for Architectural Package with Dimensioned set of As-Built Plans
-  Zone to document spot elevations on 12" x 12" module in for Architectural Package with Dimensioned set of As-Built Plans
-  spot elevations for Architectural Package with Dimensioned set of As-Built Plans
-  Interstitial Space to be documented





# CAPITOL THEATRE PLAN - (E) MEZZANINE



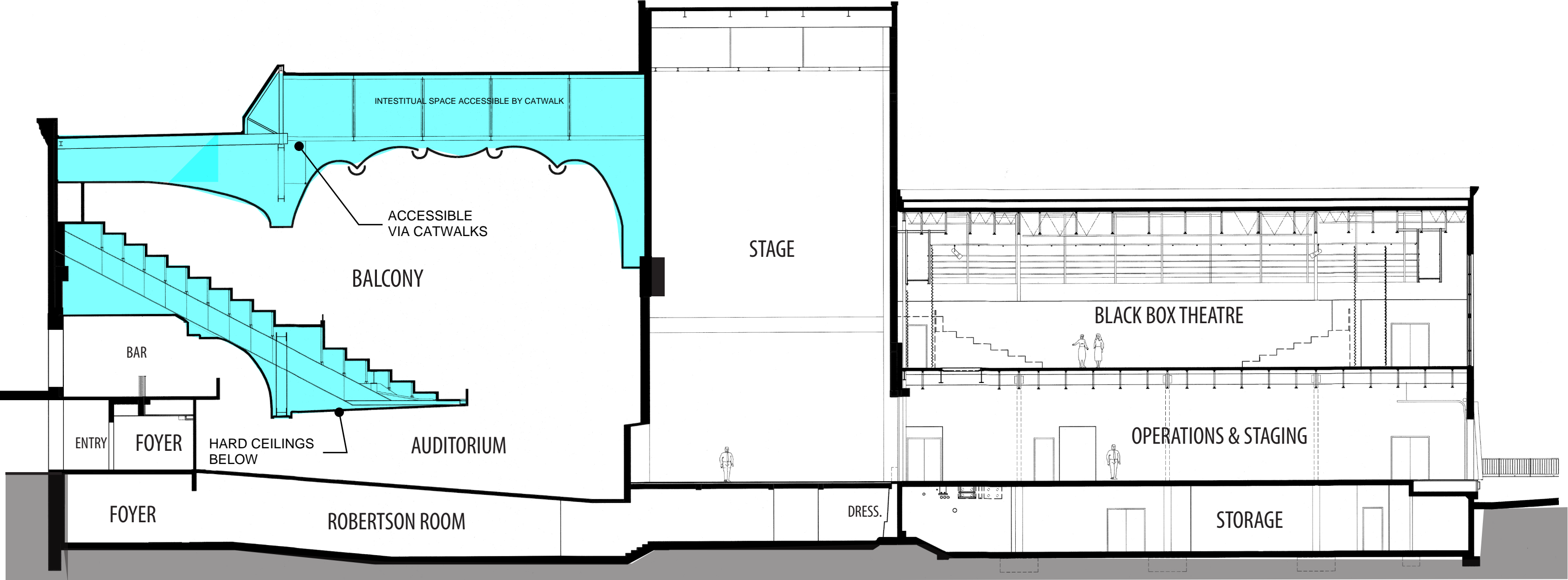
-  Detailed Interior Elevations for Architectural Package with Dimensioned set of As-Built Plans
-  Zone to document spot elevations on 12" x 12" module in for Architectural Package with Dimensioned set of As-Built Plans
-  spot elevations for Architectural Package with Dimensioned set of As-Built Plans
-  Interstitial Space to be documented

# CAPITOL THEATRE PLAN - (E) LEVEL 2



-  Detailed Interior Elevations for Architectural Package with Dimensioned set of As-Built Plans
-  Zone to document spot elevations on 12" x 12" module in for Architectural Package with Dimensioned set of As-Built Plans
-  spot elevations for Architectural Package with Dimensioned set of As-Built Plans
-  Interstitial Space to be documented

# CAPITOL THEATRE (E) SECTION



Interstitial Space to be documented





ABOVE DOME INTESTITUAL SPACE ACCESSIBLE BY CATWALK



BALCONY STRUCTURE - HARD  
CEILINGS BELOW - IS IT  
POSSIBLE TO USE  
LIGHTS/SPEAKERS TO  
ACCEESS INTESTITUAL SPACE?



BALCONY STRUCTURE - HARD CEILINGS BELOW - IS IT POSSIBLE TO USE LIGHTS/SPEAKERS TO ACCEESS INTESTITUAL SPACE?





**POSSIBLE ACCESS TO INTERSTITIAL SPACE BELOW BALCONY STRUCTURE – ROUGHLY 3' WIDE AND 1' TALL OPENING IN WALL. ON SITE RECONESCENCE MAYBE REQUIRED TO CONFIRM IF SUFFICIENT FOR EQUIPMENT ACCESS.**